



# Signature Inspections Hawaii, LLC

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Inspected By: Signature Inspections Hawaii, LLLP & Trevor Drinen



## Residential Inspection Report

Prepared For:

Flash Gordan

SafWay - Maritime Superintendent

Property Address:

45-457 Lolii Place

Kaneohe, HI 96744

Inspected on Sat, Feb 4 2017 at 9:00 AM

# Table of Contents

General	10
Site / Grounds	12
Roofing	21
Exterior / Foundation	29
Structure	37
Garage	38
Electrical	40
HVAC	44
Plumbing	49
Living Room	55
Bathrooms	56
Kitchen	66
Laundry	71
Interior	73
Bedroom #1	74
Report Summary	75

Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

Your Inspector's Information: Trevor L Drinen • Signature Inspections Hawaii • \*CPI\* Certified Professional Inspector # NACHI16122702

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

#### DEFINITION OF CONDITION TERMS

**Satisfactory:** At the time of inspection the component is functional without observed signs of a substantial defect.

**Marginal:** At the time of inspection the component is functioning but is estimated to be nearing end of useful life. Operational maintenance recommended. Replacement anticipated.

**Repair or Replace:** At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

**Further Evaluation:** The component requires further technical or invasive evaluation by qualified professional tradesman or service technician.

\*Your selected inspector is a home inspection generalist and is NOT acting as a licensed engineer or expert in any craft or trade. If your inspector recommend consulting other specialized experts, clients must do so at the client's expense.

#### SCOPE OF INSPECTION

The scope of Inspection and report is a limited visual non invasive inspection of the general systems and components of the home to identify any system or component listed in the report which may be in need of immediate major repair. The inspection will be performed in compliance with generally accepted standards of practice, a copy of which is available online at: [www.signatureinspectionshawaii.com](http://www.signatureinspectionshawaii.com)

## OUTSIDE THE SCOPE OF THE INSPECTION

Any area which is not exposed to view, is concealed, or is inaccessible because of soil, walls, floors, carpets, ceiling, furnishing, or any other thing is not included in this inspection.

The inspection does not include any destructive testing or dismantling. The undersigned client agrees to assume all the risk for all conditions which are concealed from view at the time of the inspection.

This is not a home warranty, guarantee, insurance policy or substitute for real estate transfer disclosures which may be required by law.

Whether or not they concealed, the following ARE OUTSIDE THE SCOPE OF THIS INSPECTION:

- + Building code or zoning ordinance violations
- + Geological stability, soil conditions, or tectonic plate movement
- + Structural stability or integrity, or engineering analysis
- + Termites, pests or other wood destroying organisms
- + Asbestos, radon, formaldehyde, lead, water or air quality, electromagnetic radiation or any environmental hazards
- + Building value appraisal or cost estimates
- + Condition of detached buildings
- + Engineering or building estimates of new structures
- + Pools or spas bodies and underground / in ground / in foundation piping
- + Specific components noted as being excluded on the individual systems inspection forms
- + Private water or private sewage systems
- + Saunas, steam baths, endless pools or fixtures and equipment
- + Radio-or-wireless controlled devices, automatic gates, elevators, lifts, dumbwaiters and thermostatic or time clock controls
- + Water softness / purifiers systems or solar heating systems.
- + Solar panels or energy storage deceives
- + Furnace heat exchangers, freestanding appliances, security alarms or personal property
- + Adequacy of efficiency of any systems or component
- + Prediction of life expectancy of any item

( \*Some of the above items may be included in this inspection for additional fees - check with your inspector )

\*By signing below I acknowledge that I have read and agree to the Scope Of Inspection.

## GENERAL REPORT OVERVIEW

- + Grounds - Driveway, Sidewalks, Retaining Walls, Grading, Patio, Decks / Porch, Cover, Exterior

## Stairs, Fences & Gates

- + Exterior / Foundations - Exterior Walls, Trim, Slab on grade, Crawl space, Stairs, Basement
- + Roof - Type, Flashings, Gutters & Downspouts, Attic
- + Plumbing - Main line, Supply lines, Waste line, Vent / Traps, Sprinkles, Hose Faucets , Fuel system, Water Heaters
- + Electrical / AC - Service, Main panel, Conductors, Sub-panel(s), Panel notes, Wiring notes, Cooling, Air Conditioning
- +Interior - Doors, Windows, Interior walls, Ceilings, Floors, Interior features, Smoke detector(s)
- + Garage / Laundry - Floor, Walls / Ceiling, Ventilation, Door to living space, Exterior door, Vehicle door, Automatic opener, Electrical (Switches & Outlets), Laundry
- + Kitchen - General, Sinks, Disposal, Plugs, Dishwasher
- + Bathrooms - Toilet, Sink, Electrical, Plugs, Ventilation, Bathtub, Shower, Drainage

Hereinafter ("Trevor L Drinen with Signature Inspections Hawaii Certified Professional Inspector #NACHI16122702") and the undersigned ("CLIENT"), collectively referred to herein as "the parties." The Parties understand and voluntarily agree as follows:

### InterNACHI Home Inspection Agreement

Copyright © 2003-2010 International Association of Certified Home Inspectors  
Rev 102510b

The address of the property is: (SEE PAGE ONE OF THE INSPECTION REPORT). Fee for the inspection is \$ (\*SEE CURRENT PRICING AT

<https://www.signatureinspectionshawaii.com/our-signature-pricing/>). INSPECTOR acknowledges receiving a deposit of (PER AGREEMENT OTHERWISE N/A) from CLIENT. THIS AGREEMENT made this (SEE PAGE ONE OF THE INSPECTION REPORT) day of (SEE PAGE ONE OF THE INSPECTION REPORT), 20 (SEE PAGE ONE OF THE INSPECTION REPORT), by and between Trevor L. Drinen Lic #NACHI16122702 / Signature Inspections Hawaii, L.L.L.P.

(hereinafter "INSPECTOR") and the undersigned ("CLIENT"), collectively referred to herein as "the parties." The Parties understand and voluntarily agree as follows:

INSPECTOR agrees to perform a visual inspection of the home/building and to provide CLIENT with a written report identifying the defects that INSPECTOR both observed and deemed

material. INSPECTOR may offer comments as a courtesy, but these comments will not comprise the bargained-for report. The report is only supplementary to the seller's disclosure. A general home inspection is a non-invasive, visual examination of the accessible areas of a residential property (as delineated below), performed for a fee, which is designed to identify defects within specific systems and components defined by these Standards that are both observed and deemed material by the inspector. The scope of work may be modified by the Client and Inspector prior to the inspection process.

The general home inspection is based on the observations made on the date of the inspection, and not a prediction of future conditions.

The general home inspection will not reveal every issue that exists or ever could exist, but only those material defects observed on the date of the inspection.

Unless otherwise inconsistent with this Agreement or not possible, INSPECTOR agrees to perform the inspection in accordance with the current Standards of Practice of the International Association of Certified Home Inspectors ("InterNACHI") posted at <http://www.nachi.org/sop.htm>. Although INSPECTOR agrees to follow InterNACHI's Standards of Practice, CLIENT understands that these standards contain limitations, exceptions, and exclusions. CLIENT understands that InterNACHI is not a party to this Agreement and has no control over INSPECTOR or representations made by INSPECTOR and does not supervise INSPECTOR.

Unless otherwise indicated below,

CLIENT understands that INSPECTOR will NOT be testing for the presence of radon – a colorless, odorless, radioactive gas that may be harmful to humans. Unless otherwise indicated below,

CLIENT understands that INSPECTOR will NOT be testing for mold. Unless otherwise indicated in a separate writing,

CLIENT understands that INSPECTOR will not test for compliance with applicable building codes, wood destroying insect presence/damage, functionality of photovoltaic systems or for the presence of potential dangers arising from asbestos, lead paint, formaldehyde, molds, soil contamination, and other environmental hazards or violations.

The inspection and report are for the use of CLIENT only, who gives INSPECTOR permission to discuss observations with real estate agents, owners, repairpersons, and other interested parties. INSPECTOR shall be the sole owner of the report and all rights to it. INSPECTOR accepts no responsibility for use or misinterpretation by third parties, and third parties who rely on it in any way do so at their own risk and release INSPECTOR (including employees and business entities) from any liability whatsoever. Any third parties who rely on the report in any way also agree to all provisions in this Agreement. INSPECTOR'S inspection of the property and the report are in no way a guarantee or warranty, express or implied, regarding the future use, operability, habitability or suitability of the home/building or its components. All warranties, express or implied, including warranties of merchantability and fitness for a particular purpose, are expressly excluded to the

fullest extent allowed by law. If any structure or portion of any structure that is to be inspected is a log home, log structure or includes similar log construction, CLIENT understands that such structures have unique characteristics that make it impossible for an inspector to inspect and evaluate them by an exterior visual inspection. Therefore, the scope of the inspection to be performed pursuant to this Agreement does not include decay of the interior of logs in log walls, log foundations or roofs or similar defects that are not visible by an exterior visual inspection.

INSPECTOR assumes no liability for the cost of repair or replacement of unreported defects or deficiencies either current or arising in the future. CLIENT acknowledges that the liability of INSPECTOR, its agents, employees, for claims or damages, costs of defense or suit, attorney's fees and expenses arising out of or related to the INSPECTOR'S negligence or breach of any obligation under this Agreement, including errors and omissions in the inspection or the report, shall be limited to liquidated damages in an amount equal to the fee paid to the INSPECTOR, and this liability shall be exclusive. CLIENT waives any claim for consequential, exemplary, special or incidental damages or for the loss of the use of the home/building even if the CLIENT has been advised of the possibility of such damages. The parties acknowledge that the liquidated damages are not intended as a penalty but are intended (i) to reflect the fact that actual damages may be difficult and impractical to ascertain; (ii) to allocate risk among the INSPECTOR and CLIENT; and (iii) to enable the INSPECTOR to perform the inspection at the stated fee.

INSPECTOR does not perform engineering, architectural, plumbing, or any other job function requiring an occupational license in the jurisdiction where the inspection is taking place, unless the inspector holds a valid occupational license, in which case he/she may inform the CLIENT that he/she is so licensed, and is therefore qualified to go beyond this basic home inspection, and for additional fee, perform additional inspections beyond those within the scope of the basic home inspection. Any agreement for such additional inspections shall be in a separate writing. PERMITS - \* Inspector's can due research and provide all building permits that appear on the municipal records for the above property for an additional fee - or - a real estate agent should be able to assist the CLIENT with obtaining these documents.

In the event of a claim against INSPECTOR, CLIENT agrees to:

ARBITRATION Any dispute concerning the interpretation of this agreement or arising from this inspection and report, except one for inspection fee payment, shall be resolved informally between the parties or by arbitration conducted in accordance with the rules of the recognized Arbitration Association except that the parties shall select an arbitrator who is familiar with the home inspection industry. The Arbitrator shall conduct summary judgment motions and enforce full discovery rights as a court would as provided in civil proceeding by legal code.\*By signing below I acknowledge that I have read and agree to the Arbitration Clause.

LIMITATION ON LIABILITY: INSPECTORS LIABILITY FOR MISTAKES OR OMISSIONS IN THIS INSPECTION REPORT IS LIMITED TO A REFUND OF THE FEE PAID FOR THIS INSPECTION AND

REPORT. THE LIABILITY OF INSPECTOR'S PRINCIPALS, AGENTS, AND EMPLOYEES IS ALSO LIMITED TO THE FEE PAID. THIS LIMITATION APPLIES TO ANYONE WHO IS DAMAGED OR HAS TO PAY EXPENSES OF ANY KIND BECAUSE OF MISTAKES OR OMISSIONS IN THIS INSPECTION AND REPORT. THIS LIABILITY LIMITATION IS BINDING ON CLIENT AND CLIENT'S SPOUSES, SIGNIFICANT OTHERS, PARTNERS, HEIRS, PRINCIPALS, ASSIGNS AND ANYONE ELSE WHO MAY OTHERWISE CLAIM THROUGH CLIENT. CLIENT ASSUMES THE RISK OF ALL LOSSES GREATER THAN THE FEE PAID FOR THE INSPECTION. CLIENT AGREES TO IMMEDIATELY ACCEPT A REFUND OF THE FEE AS FULL SETTLEMENT OF ANY AND ALL CLAIMS WHICH MAY EVER ARISE FROM OR AFTER THIS INSPECTION.

Client understands that if client wants an inspection WITHOUT A LIMIT ON LIABILITY TO A REFUND OF THE FEE PAID for the inspection, client may pay an additional fee to receive a report without limitation.

\*By signing below I acknowledge that I have read and agree to the LIMITATION OF LIABILITY.

CLIENT agrees to, supply INSPECTOR with the following: (1) Written notification of adverse conditions within 14 days of discovery, and (2) Access to the premises. Failure to comply with the above conditions will release INSPECTOR and its agents from any and all obligations or liability of any kind.

The parties agree that any litigation arising out of this Agreement shall be filed only in the Court having jurisdiction in the County in which the INSPECTOR has its principal place of business. In the event that CLIENT fails to prove any claims against INSPECTOR in a court of law, CLIENT agrees to pay all legal costs, expenses and fees of INSPECTOR in defending said claims. CLIENT further understands that any legal action against InterNACHI itself allegedly arising out of this Agreement or INSPECTOR's relationship with InterNACHI must be brought only in the District Court of Boulder County, Colorado. No such action may be filed unless the plaintiff has first provided InterNACHI with 30 days' written notice of the nature of the claim. In any action against INSPECTOR and/or InterNACHI, CLIENT waives trial by jury.

If any court declares any provision of this Agreement invalid, the remaining provisions will remain in effect. This Agreement represents the entire agreement between the parties. All prior communications are merged into this Agreement, and there are no terms or conditions other than those set forth herein. No statement or promise of INSPECTOR or its agents shall be binding unless reduced to writing and signed by INSPECTOR. No change shall be enforceable against any party unless it is in writing and signed by the parties. This Agreement shall be binding upon and enforceable by the parties and their heirs, executors, administrators, successors and assignees. CLIENT shall have no cause of action against INSPECTOR after one year from the date of the inspection.



Payment of the fee to INSPECTOR (less any deposit noted above) is due upon completion of the on-site inspection. The CLIENT agrees to pay all legal and time expenses incurred in collecting due payments, including attorney's fees, if any. If CLIENT is a corporation, LLC, or similar entity, the person signing this Agreement on behalf of such entity does personally guaranty payment of the fee by the entity.

If CLIENT requests a re-inspection, the re-inspection is also subject to all the terms and conditions set forth in this agreement.

This Agreement is not transferable or assignable.

Should any provision of this Agreement require judicial interpretation, the Court shall not apply a presumption that the term shall be more strictly construed against one party or the other by reason of the rule of construction that a document is to be construed more strictly against the party who prepared it.

**\*\*CLIENT HAS CAREFULLY READ THE FOREGOING, AGREES TO IT, AND ACKNOWLEDGES RECEIPT OF A COPY OF THIS AGREEMENT IN PDF FORMAT ALONG WITH A DETAILED INSPECTION REPORT.**

\*CLIENT(S), Name(s) / Contact Information are also found on page #1 (one) of the PDF Report. CLIENT(s) acknowledges that I have read and agrees to all above.

\*By signing below I, THE CLIENT, acknowledges that I have agree to all above.

# General

Client's Signature:



Property Type:	Single Family
Stories:	One
Approximate Age:	29 Years Old
Age Based On:	Listing
Bedrooms/Baths:	3 Bedrooms / 2 Bath
Door Faces:	East
Furnished:	No
Occupied:	No
Weather:	Overcast
Temperature:	Warm
Soil Condition:	Dry, Damp
Utilities On During Inspection:	Electric Service, Water Service
People Present:	Client, Buyers Agent - Sally Mejia



Comment 1:  
Main entry door French doors solid facing east.

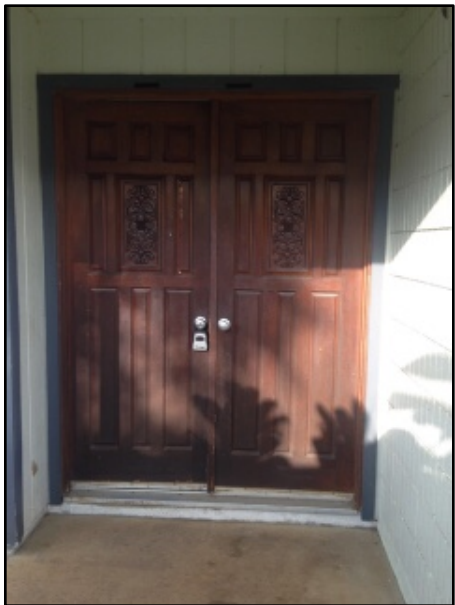


Figure 1-1

(General continued)



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Comment 2:

Report Summary:

Deficiency / Replacement: GFCI plugs need to be installed in the following areas. 1. Master Bathroom qty 2 (2) Hallway Bathroom qty 2 (3) Under Kitchen Sink qty 1 (4) Laundry Room qty 2 (5) Exterior Patio / Deck qty 2 (6) Exterior Patio Bathroom qty 1 (7) Master Bedroom AC Unit \*Wall unit - leaks into / onto Garage floor causing minor water Damage \*Highly Suggest To Relocate Unit.

Deficiency / Replacement / Further Investigation:

(1) Exterior Patio Lights / Switches (2) Hallway Bathroom Lights / Switches (3) Hallway Bathroom Sink / Faucet (4) Dryer Vent Cover [Exterior] (5) Sliding Closet Doors / Shelving (6) Master Bathroom Shower Caulk Seams (7) Hallway Bathroom Floor / Toilet Seal [watch be mindful] (8) Exterior Security Lighting Around House (9) Exterior Gutters / Downspouts

## Site / Grounds

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Driveway:	Concrete Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Walkways:	Concrete , Stepping Stones Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Retaining Walls:	Rock / Concrete Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Fences & Gates:	Chain-link fence satisfactory condition Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Site / Grounds Grading:	Mostly Level Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Deck/Patios/Porch:	Concrete, See picture for notes and Miner suggested repair Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*

(Site / Grounds continued)

Vegetation: Generally Maintained  
Condition: Suggest to Repair or Replacement - Heavily Worn / Near End of Lifespan

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 Comment 3:  
Driveway in satisfactory condition no common cracks minor weeds.



Figure 3-1

(Site / Grounds continued)


 **Comment 4:**  
Retaining wall front satisfactory condition minor grass no major concerns.



Figure 4-1



Figure 4-2



Figure 4-3

(Site / Grounds continued)



**Comment 5:**

Retaining wall / fence - along entry side of house. Satisfactory condition minor common cracks



Figure 5-1



**Comment 6:**

Retaining wall fence and drainage ditch along rear of house. Satisfactory condition



Figure 6-1



(Site / Grounds continued)


- 
-  **Comment 7:**  
Retaining wall fence alongside west side of house satisfactory condition.



Figure 7-1


- 
-  **Comment 8:**  
Side gate west / east side of house gates around house satisfactory condition.



Figure 8-1



Figure 8-2



(Site / Grounds continued)



Comment 9:  
Outside patio - satisfactory condition.



Figure 9-1



Figure 9-2



Figure 9-3



Figure 9-4

(Site / Grounds continued)



Figure 9-5



Comment 10:  
Outside patio skylights - satisfactory condition



Figure 10-1



Figure 10-2

(Site / Grounds continued)



Comment 11:

Outside patio lighting suggest bulb replacement suggest further inspections as light did not come on right away.



Figure 11-1



Comment 12:

Exterior walkways by entryway concrete satisfactory condition continue down into a side stepping stones to patio concrete satisfactory condition on the west side of the house grass block satisfactory condition minor and leveling not an issue.

(Site / Grounds continued)



Figure 12-1



Figure 12-2



Figure 12-3

# Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method:	Walked Roof/Arms Length
Roof Design:	Gable
Roof Covering:	3 Tab Shingle
	Condition: Suggest to Repair or Replacement - Heavily Worn / Near End of Lifespan
Approximate Roof Age:	Newer
Ventilation Present:	Roof
	Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Vent Stacks:	Metal
	Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Sky Lights:	Yes
	Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Flashings:	Metal
	Condition: Satisfactory - Within Useful Lifespan
Soffit and Fascia:	Eve's - suggest routine cleaning satisfactory condition
	Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Gutters & Downspouts:	Metal
	Condition: Marginal - Signs of Aging / Cracking - *This usually consists of repair / replacement of identified items and continued inspection / maintenance performed on a regular basis.*



(Roofing continued)



Comment 13:  
Roofing - satisfactory condition.



Figure 13-1



Figure 13-2



Figure 13-3

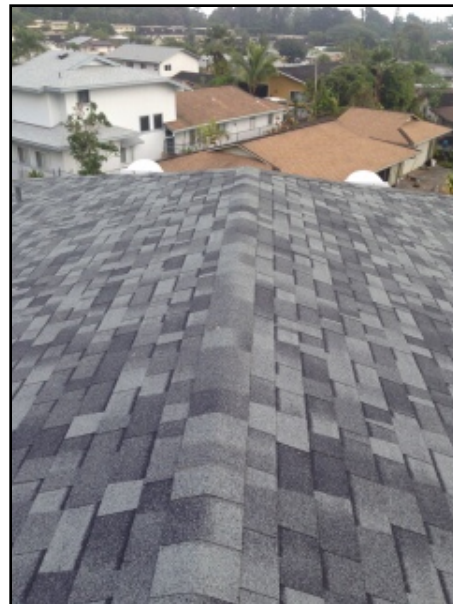


Figure 13-4

(Roofing continued)



Figure 13-5



Comment 14:  
Roofing ventilation satisfactory condition.



Figure 14-1



Figure 14-2

(Roofing continued)



Figure 14-3



Comment 15:  
Skylights over patio area - .



Figure 15-1



Figure 15-2



(Roofing continued)



Figure 15-3



Figure 15-4



Figure 15-5

(Roofing continued)



Comment 16:

Gutters and downspouts gutter nails sticking out minor suggest minor repairs  
minor - showing of minor mold and mildew buildup

Downspouts rub sub train her into ground suggest watching for back up.



Figure 16-1



Figure 16-2



Figure 16-3



Figure 16-4

(Roofing continued)



Figure 16-5



Figure 16-6



Figure 16-7

(Roofing continued)



Comment 17:  
Eves

Suggest mold and mildew cleaner

Suggest minor maintenance repairs.



Figure 17-1



Figure 17-2



Figure 17-3



Figure 17-4

## Exterior / Foundation

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Walls:	Lap Wood, Wood Tongue and Groove Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Exterior Trim Material:	Wood Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Entry / Exit Doors:	Wood Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Windows:	Aluminum , Jealousy Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*



### Comment 18: Exterior walls.

West side - minor wall exposure suggested paint minor seam split long garage area suggested caulk

East side -caulking along belly band minor cracking



(Exterior / Foundation continued)



Figure 18-1



Figure 18-2



Figure 18-3



Figure 18-4

(Exterior / Foundation continued)



Figure 18-5



Comment 19:

Windows exterior - jealousy windows with aluminum framing.

Windows exterior - vinyl windows with wood framing

\* suggest maintenance minor painting and caulking

Windows exterior - we are patio aluminum frame window satisfactory condition - minor maintenance

(Exterior / Foundation continued)



Figure 19-1



Figure 19-2



Figure 19-3



Figure 19-4



(Exterior / Foundation continued)



Figure 19-5



Comment 20:

Exterior shed door location west side of house outside garage - suggest replacement.

Interiors closet condition satisfactory



Figure 20-1



Figure 20-2

(Exterior / Foundation continued)

## Structure

Wall Structure:	Wood Framed Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Ceiling Structure:	Wood Framed Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Roof Structure:	Wood Framed Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Roof Sheathing:	Plywood Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*

## Attic

Attic Entry:	Hallway
Roof Framing Type:	Wood Trusses, Joist and Rafters Condition: Satisfactory - Within Useful Lifespan
Roof Deck Material:	Plywood, Decking only at entry area - 2 x 4 studs remainder length of attic Condition: Satisfactory - Within Useful Lifespan
Vent Risers:	PVC Condition: Satisfactory - Within Useful Lifespan

(Attic continued)

Insulation:

Not Present



Comment 21:

Attic entry and hallway

.

Attic landing plywood

Attic not insulated most of the attic have to step on 2x4 stud / trusses

\* no water line running through attic Copperline be careful upon entry also electricity running down center

\* no proper roof venting and airflow

\*. Possible solar roof vent fan to keep cooling during summer months



Figure 21-1



Figure 21-2

(Attic continued)



Figure 21-3



Figure 21-4



Figure 21-5

# Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types:	Slab on Grade
Foundation Material:	Poured Concrete
	Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Signs of Water Penetration:	Mildew, Minor mildew - suggest regular maintenance and cleaning
	Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Prior Waterproofing:	Perimeter Drain, Gutter type drain
	Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Floor Structure:	Concrete Slab
	Condition: *Inspection limited to view from access point / Not fully visible.
Subflooring:	Plywood
	Condition: *Inspection limited to view from access point / Not fully visible.
Wall Structure:	Wood Frame
	Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*

# Garage

Garage Type:	Attached Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Garage Size:	2 Car
Door Opener:	Screw Drive Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Opener Safety Feature:	Light Beam Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*



Comment 22:  
Garage floor, common cracking satisfactory condition.



Figure 22-1



(Garage continued)



Comment 23:

Garage door opener screw drive noisy but satisfactory condition.



Figure 23-1



Figure 23-2



Comment 24:

Garage laserbeam safety precaution satisfactory condition.



Figure 24-1

# Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:	Underground
Main Disconnect Location:	Main safety switch at meter also secondary next AC unit
Service Panel Location:	Bedroom wall adjacent or behind kitchen area
Service Panel Manufacturer:	General Electric
	Condition: Satisfactory - Within Useful Lifespan
Service Line Material:	Aluminum
	Condition: Satisfactory - Within Useful Lifespan
Service Voltage:	120 volts
Service Amperage:	125 amps
Service Panel Ground:	Ground Rod
Overcurrent Protection:	Breakers
	Condition: Satisfactory - Within Useful Lifespan
GFCI/AFCI Breakers:	Yes
	Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Smoke Detectors:	Not Present



(Electrical continued)



Comment 25:

Meter location on west side of house garage exterior.

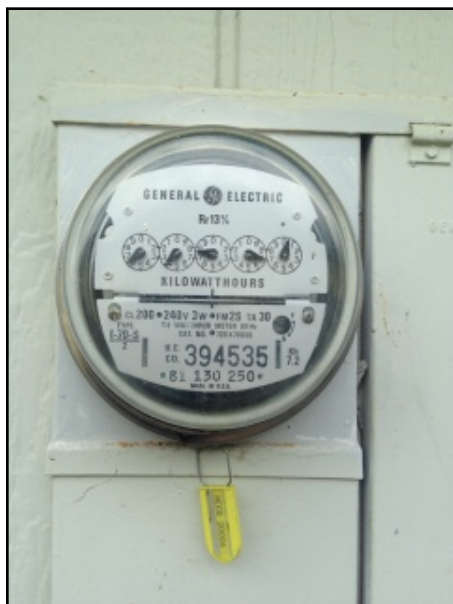


Figure 25-1



Figure 25-2



Comment 26:

Heavy duty safety switch outside next to AC unit rear of house west side.



Figure 26-1



Figure 26-2

(Electrical continued)



Comment 27:  
Location garage - safety electricity breaker master switch.



Figure 27-1



Comment 28:  
Never 16 update to dryer labeling Miner.



Figure 28-1

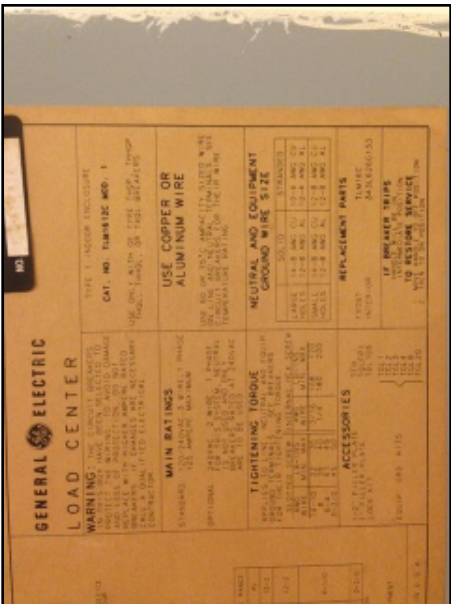


Figure 28-2

(Electrical continued)



Comment 29:

Smoke detector and only missing a 9 V battery hardwired though

Smoke detector located out side one bedroom missing suggest add

No smoke detectors in each bedroom's - suggest add in living room suggest add in master bedroom suggest add in bedrooms



Figure 29-1



Figure 29-2

# HVAC

HVAC System Type: Central Split System

---



Comment 30:



Figure 30-1



Comment 31:

Garage AC unit suggest relocate or create drainage area.



Figure 31-1

(HVAC continued)

# Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source:

Electric

Type of Equipment:

Split System

Condition: \*Further Evaluation Required By Professional.

Condenser Make:

Lennox

Condensate Drainage:

To Exterior

Condition: Satisfactory - Typical Maintenance & Inspection Suggested \*This usually consists of routine maintenance and inspection performed on a regular basis.\*

AC Temperature Drop:

64



Comment 32:

Suggest testing by AC professional for further determination.



Figure 32-1



Figure 32-2



(Cooling continued)



Figure 32-3



Comment 33:

See garage note - Master bedroom AC wall unit drains into garage suggest relocate or plumb correctly.



Figure 33-1



(Cooling continued)



Comment 34:

Split AC unit operational located above window remote located adjacent to window.



Figure 34-1



Figure 34-2



Comment 35:

Temporary drop to 64° satisfactory.



Figure 35-1

(Cooling continued)

Air conditioners over 10 years old and heat pumps over 5 years old should be checked, cleaned and serviced yearly by a licensed contractor.

# Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Water Service:	Public
Supply Pipe Material:	PVC
	Condition: Suggest to Repair or Replacement - Heavily Worn / Near End of Lifespan
Location of Main Water Shutoff:	Exterior west side of house - see picture
Sewer System:	Public
Waste Pipe Material:	PVC
	Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Location of Fuel Shutoff:	At Meter



Comment 36:  
Water meter along side west side of house - with reducer.

\* age producer



Figure 36-1

(Plumbing continued)



Comment 37:

Water pressure 60lbs - satisfactory.

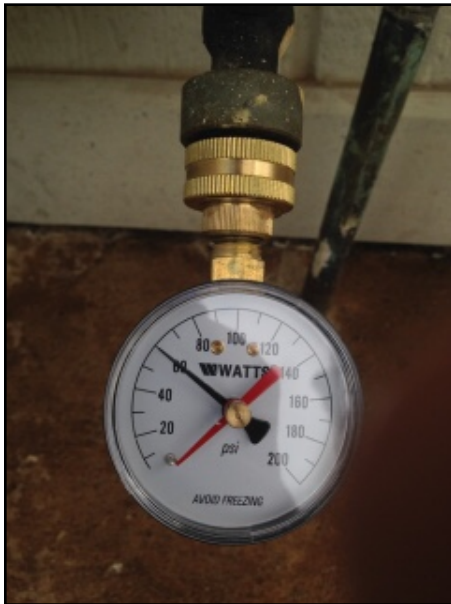


Figure 37-1



Comment 38:

Plumbing/water city shut off location curb sidewalk.



Figure 38-1

(Plumbing continued)

---

 Comment 39:  
Water shut off not stopping flow completely suggest plumber to replace


Water reducer heavily rusted suggest  
further professional investigation.

Exterior concrete around house mostly level by water shut off valve water ponding  
and not shedding away from house quickly suggest watch possible slow concrete  
away from house



Figure 39-1

---

 Comment 40:  
Plumbing exterior clean out

Location one of two: outside entry door grass location.

Location two have two: West side of rear patio next to partial bath

(Plumbing continued)



Figure 40-1



Figure 40-2

## Water Heater

Manufacturer:	General Electric
Fuel:	Electric
Capacity:	40 gal
Approximate Age:	Mfg Date: 08/2004
Temp & Pressure Relief Valve:	Present With Blow Off Leg
	Condition: Satisfactory - Within Useful Lifespan
Fuel Disconnect:	In Same Room



(Water Heater continued)



Comment 41:  
Water heater information.

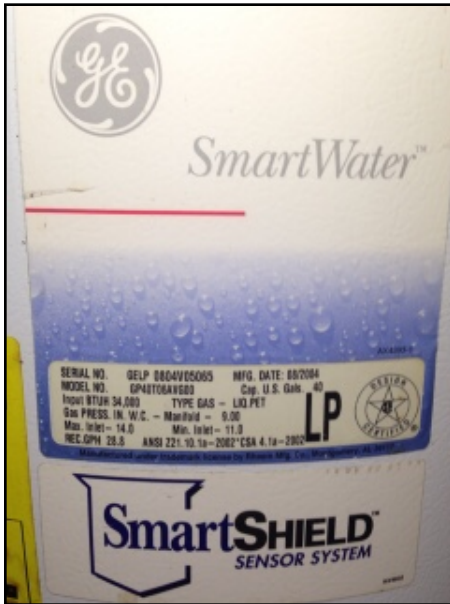


Figure 41-1

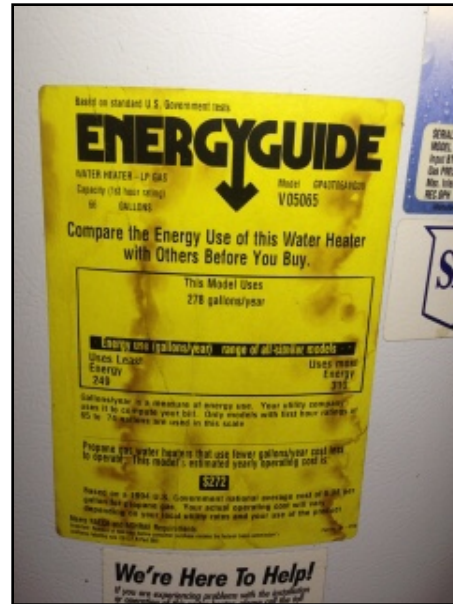


Figure 41-2



Comment 42:  
Water heater water release valve.



Figure 42-1

(Water Heater continued)



Comment 43:

Water heater closet extensively water stains- suggest watch / apply stain blocker and possible replace.



Figure 43-1

# Living Room

Flooring:

Carpet

Condition: Satisfactory - Within Useful Lifespan

Ceiling and Walls:

Drywall

Condition: Satisfactory - Typical Maintenance & Inspection Suggested \*This usually consists of routine maintenance and inspection performed on a regular basis.\*



Comment 44:

Living room flooring.




Figure 44-1

# Bathrooms

## Bathroom #1

Location:	Master Bedroom
Shower:	Stall Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Sink(s):	Single Vanity Condition: Satisfactory - Within Useful Lifespan
Toilet:	Standard Tank Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Shower Walls:	Fiberglass Condition: Suggest caulk seems
Floor:	Tile Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Ventilation Type:	Window Condition: Satisfactory - Within Useful Lifespan
GFCI Protection:	Outlets Condition: GFCI not in master bathroom - required to update plug

(Bathroom #1 continued)

 Comment 45:  
Master shower suggest re caulk / seal seems see pictures for details.

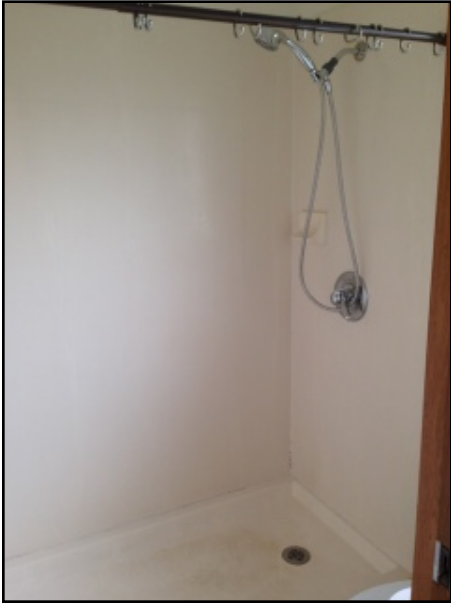


Figure 45-1



Figure 45-2

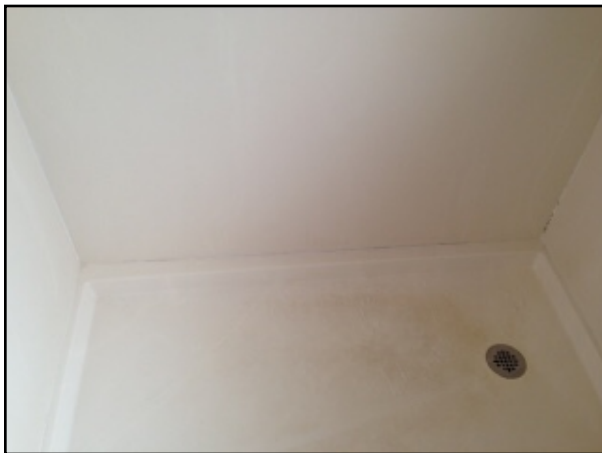


Figure 45-3

(Bathroom #1 continued)



Comment 46:  
Plumbing valves satisfactory condition.



Figure 46-1



Comment 47:  
Single vanity master bathroom satisfactory condition.



Figure 47-1



(Bathroom #1 continued)



Comment 48:  
No GFCi plug. Unsafe replace.



Figure 48-1



Comment 49:  
Master bathroom flooring tile satisfactory condition.



Figure 49-1

(Bathrooms continued)

## Bathroom #2

Location:	Hallway - Shared Bath
Bath Tub:	Recessed Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Shower:	In Tub Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Sink(s):	Single Vanity Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Toilet:	Standard Tank Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Shower Walls:	Tile Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Tub Surround:	Tile Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*

(Bathroom #2 continued)

Floor:

Tile

Condition: Satisfactory - Typical Maintenance & Inspection Suggested \*This usually consists of routine maintenance and inspection performed on a regular basis.\*

Ventilation Type:

Window

Condition: Satisfactory - Within Useful Lifespan

GFCI Protection:

Outlets

Condition: Not present and unsafe add



Comment 50:

Faucet handle not put on correctly -suggest correct.



Figure 50-1

(Bathroom #2 continued)



Comment 51:

Values appear to be in good condition dry.

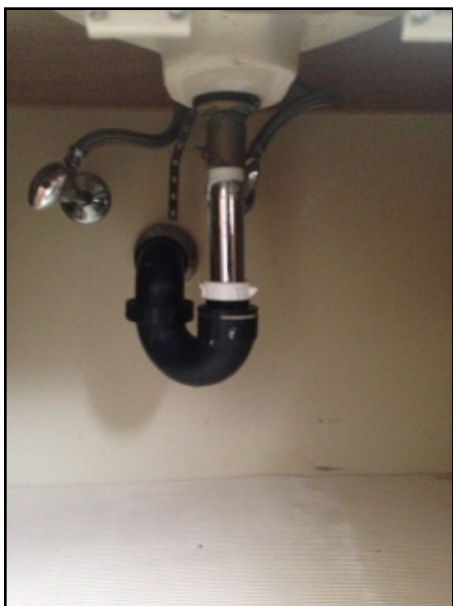


Figure 51-1



Comment 52:

Bathtub and shower minor chip satisfactory condition minor grout lines chipped .

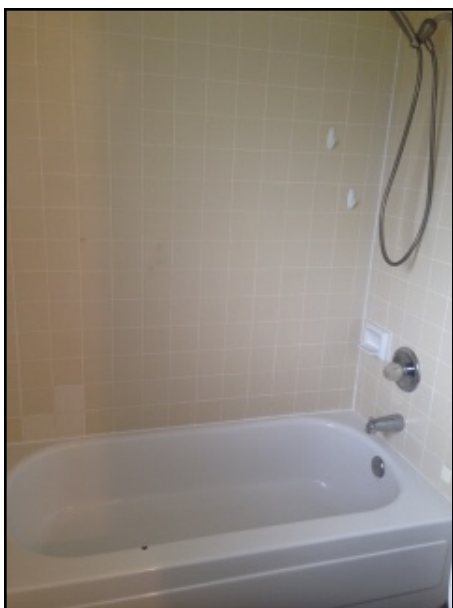


Figure 52-1



Figure 52-2

(Bathroom #2 continued)


 **Comment 53:**  
Old water stain - suggest watch suggest possible for their maintenance.



Figure 53-1

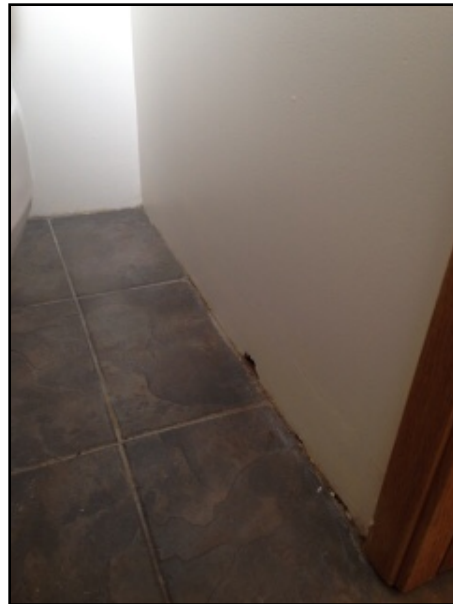


Figure 53-2


 **Comment 54:**  
Shared bathroom light and shower area non-operational suggest for further investigation.



Figure 54-1

(Bathrooms continued)

## Bathroom #3

Location:	Exterior Patio
Sink(s):	Single Vanity
	Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Toilet:	Standard Tank
	Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Floor:	Vinyl
	Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Ventilation Type:	Window
	Condition: Satisfactory - Within Useful Lifespan
GFCI Protection:	Not Present



(Bathroom #3 continued)



Comment 55:  
Location exterior patio.



Figure 55-1



Comment 56:  
No GFCI and safe suggest install.



Figure 56-1

# Kitchen

Cabinets:	Wood Condition: Satisfactory - Within Useful Lifespan
Countertops:	Laminated Condition: Satisfactory - Within Useful Lifespan
Sink:	Double Condition: Satisfactory - Within Useful Lifespan



Comment 57:  
Kitchen.



Figure 57-1

(Kitchen continued)



Comment 58:

Instant hot water connector plug under sink no GFCI unsafe suggest replacement.



Figure 58-1



Comment 59:

Kitchen GFCI operational satisfactory condition.



Figure 59-1



Figure 59-2

(Kitchen continued)

## Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Oven:	Kenmore Condition: *Further Evaluation Required By Professional.
Range:	Kenmore Condition: *Further Evaluation Required By Professional.
Refrigerator:	Frigidaire Condition: Satisfactory - Within Useful Lifespan
Dishwasher:	Not Present
Microwave:	Gold star Condition: Satisfactory - Within Useful Lifespan
Disposal:	Emerson Condition: *Further Evaluation Required By Professional.

(Appliances continued)



Comment 60:

Very noisy suggest further inspection by profession.



Figure 60-1



Comment 61:

Gas oven - unable to that light suggest further appliance professional inspection.



Figure 61-1

(Appliances continued)



Comment 62:

Frig 47°

Icebox 23° and dropping.



Figure 62-1



Figure 62-2



Figure 62-3



# Laundry

Built In Cabinets:	Yes Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Laundry Sink:	Not Present
Dryer Venting:	To Exterior Condition: Suggest to Repair or Replacement - Unsafe / Not Functional
GFCI Protection:	Not Present
Laundry Hook Ups:	Yes Condition: Satisfactory - Within Useful Lifespan
Washer:	Kenmore Condition: Satisfactory - Within Useful Lifespan
Dryer:	Kenmore Condition: Suggest to Repair or Replacement - Heavily Worn / Near End of Lifespan



## Comment 63:

Dryer vent single flap suggest replacement to protect against rodents insects etc.



Figure 63-1



Figure 63-2

(Laundry continued)



Comment 64:

Washer satisfactory condition no dial isn't exactly on set.



Figure 64-1



Comment 65:

Dryer .



Figure 65-1

# Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Floors:	Tile, Carpet Condition: Satisfactory - Within Useful Lifespan
Walls:	Painted Drywall Condition: Satisfactory - Within Useful Lifespan
Window Types:	Sliders, Jalousie Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Window Materials:	Aluminum , Vinyl, Jealousy
Entry Door Types:	Sliding, Hinged Condition: Satisfactory - Typical Maintenance & Inspection Suggested *This usually consists of routine maintenance and inspection performed on a regular basis.*
Entry Door Materials:	Wood, Aluminum
Interior Door Materials:	Wood

## Bedroom #1

### Location

# Report Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

## General

---

### 1) Report Summary:

Deficiency / Replacement: GFCI plugs need to be installed in the following areas. 1. Master Bathroom qty 2 (2) Hallway Bathroom qty 2 (3) Under Kitchen Sink qty 1 (4) Laundry Room qty 2 (5) Exterior Patio / Deck qty 2 (6) Exterior Patio Bathroom qty 1 (7) Master Bedroom AC Unit \*Wall unit - leaks into / onto Garage floor causing minor water Damage \*Highly Suggest To Relocate Unit.

### Deficiency / Replacement / Further Investigation:

(1) Exterior Patio Lights / Switches (2) Hallway Bathroom Lights / Switches (3) Hallway Bathroom Sink / Faucet (4) Dryer Vent Cover [Exterior] (5) Sliding Closet Doors / Shelving (6) Master Bathroom Shower Caulk Seams (7) Hallway Bathroom Floor / Toilet Seal [watch be mindful] (8) Exterior Security Lighting Around House (9) Exterior Gutters / Downspouts

## Site / Grounds

---

2) Outside patio lighting suggest bulb replacement suggest further inspections as light did not come on right away.

(Report Summary continued)



Figure 11-1

## Roofing

3) Gutters and downspouts gutter nails sticking out minor suggest minor repairs minor - showing of minor mold and mildew buildup

Downspouts rub sub train her into ground suggest watching for back up.



Figure 16-1



Figure 16-2



(Report Summary continued)



Figure 16-3



Figure 16-4



Figure 16-5

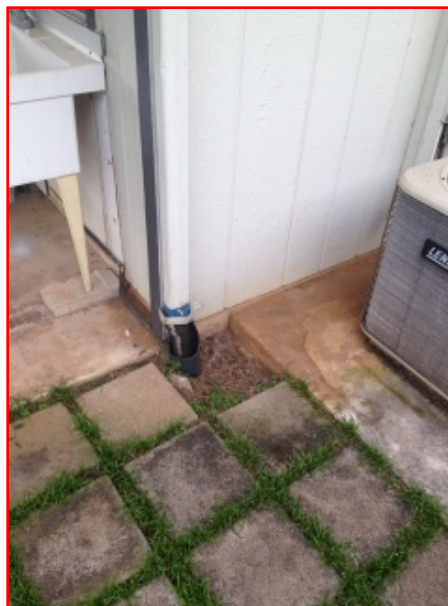


Figure 16-6

(Report Summary continued)



Figure 16-7

## Exterior / Foundation

---

4) Exterior shed door location west side of house outside garage - suggest replacement.

Interiors closet condition satisfactory



Figure 20-1



Figure 20-2

(Report Summary continued)

## Electrical

---

5) Smoke detector and only missing a 9 V battery hardwired though

Smoke detector located out side one bedroom missing suggest add

No smoke detectors in each bedroom's - suggest add in living room suggest add in master bedroom suggest add in bedrooms



Figure 29-1



Figure 29-2

(Report Summary continued)

## HVAC

---

6) Garage AC unit suggest relocate or create drainage area.



Figure 31-1

## HVAC: Cooling

---

7) See garage note - Master bedroom AC wall unit drains into garage suggest relocate or plumb correctly.



Figure 33-1

(Report Summary continued)

## Plumbing

---

8) Water shut off not stopping flow completely suggest plumber to replace

Water reducer heavily rusted suggest further professional investigation.

Exterior concrete around house mostly level by water shut off valve water ponding and not shedding away from house quickly suggest watch possible slow concrete away from house



Figure 39-1

## Plumbing: Water Heater

---

9) Water heater closet extensively water stains- suggest watch / apply stain blocker and possible replace.

(Report Summary continued)



Figure 43-1

## Bathrooms: Bathroom #1

---

10) No GFCi plug. Unsafe replace.



Figure 48-1



(Report Summary continued)

## Bathrooms: Bathroom #2

---

11) Old water stain - suggest watch suggest possible for their maintenance.



Figure 53-1

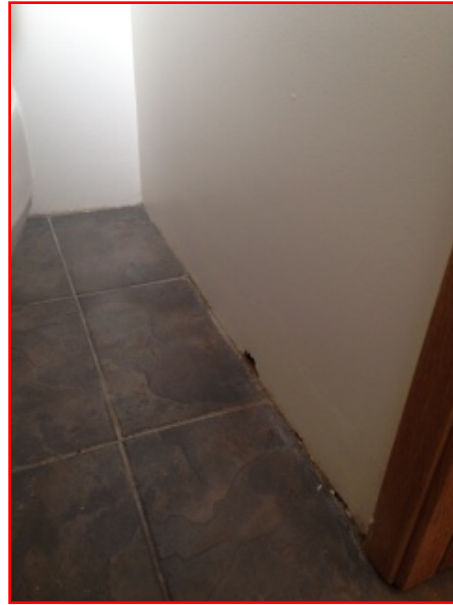


Figure 53-2

12) Shared bathroom light and shower area non-operational suggest for further investigation.



Figure 54-1

(Report Summary continued)

## Bathrooms: Bathroom #3

---

13) No GFCI and safe suggest install.



Figure 56-1

## Kitchen

---

14) Instant hot water connector plug under sink no GFCI unsafe suggest replacement.



Figure 58-1

(Report Summary continued)

## Kitchen: Appliances

---

15) Very noisy suggest further inspection by profession.



Figure 60-1

16) Gas oven - unable to that light suggest further appliance professional inspection.



Figure 61-1

(Report Summary continued)

## Laundry

---

17) Dryer vent single flap suggest replacement to protect against rodents insects etc.



Figure 63-1



Figure 63-2

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Mahalo nui loa - With much application.